

SECTION 4 DEVELOPMENT REGULATIONS

4.1 INTRODUCTION

The La Entrada Development Regulations are the result of synthesizing the Vision through the land design process to create a cohesive community. The Land Use Plan provides a roadmap for the development of the community, while the mechanisms to ensure implementation are the detailed Development Regulations.

4.2 GENERAL PROVISIONS

This section has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Coachella Zoning Ordinance (Title 17 of the Coachella Municipal Code). Regulations are proposed for residential, open space, mixed use and institutional uses. Individual development areas are defined by density, lot size and planning area and have been included in accordance with the goals and objectives of this document.

Application of these regulations is specifically intended to provide the most appropriate use of the land, create a harmonious relationship among land uses and protect the health, safety and welfare of the community.

The following General Development Standards apply to all uses within the La Entrada Specific Plan.

4.2.1 Applicability

The La Entrada Plan has been developed as both a regulatory and a land use policy document, which, upon adoption by ordinance will constitute the zoning for the property. Development plans or agreements, tract or parcel maps, site plans or any other action requiring ministerial or discretionary approval of the subject property must be consistent with the Specific Plan. California Government Code, Section 65454 requires that a Specific Plan be consistent with the General Plan. Upon adoption, actions deemed to be consistent with the La Entrada Specific Plan shall be judged to be consistent with the City of Coachella General Plan.

Where conflicts exist between the standards contained in this Specific Plan and those found in the City of Coachella General Plan, Zoning Ordinance or Municipal Code, the regulations and standards in this Specific Plan shall take precedence. Any area of site development, administration, review procedures, environmental review, landscaping requirements, and regulations not expressly addressed by this Specific Plan document

shall be subject to the provisions of the City of Coachella Zoning Code, Municipal Code or General Plan, using the context and objectives of this Specific Plan as a guide.

4.2.2 Severability

In the event that any regulation, condition, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

4.2.3 Determination of Unlisted Use

Any land use proposal not specifically covered by the provisions contained herein shall be subject to Section 17.06 of the City of Coachella Zoning Ordinance.

4.2.4 Interpretation

The development standards and regulations contained in this Specific Plan shall supersede the standards contained in the Coachella Municipal and Zoning Codes, except where specifically provided in this Specific Plan. Whenever the provisions contained in this Specific Plan conflict with the Municipal or Zoning Codes, the provisions of this Specific Plan shall take precedence. Any ambiguity concerning the content or application of the La Entrada Plan shall be resolved by the City's Development Services Department, its Director or their designee. Such interpretations shall take into account the stated goals and intent of this Specific Plan. If requested, the Planning Commission may review any administrative interpretation, subject to appeal to the City Council.

4.2.5 Definitions

Unless otherwise specified below, terms used in this document shall have the same definitions provided in the City of Coachella Zoning Ordinance Chapter 17.06, "Definitions." The following definitions shall apply to the uses and standards within this Specific Plan:

- ❖ "Alley-Loaded." Access to a structure or lot is made from an alley rather than a street.
- ❖ "Common Open Space" areas may include, but are not limited to, turf areas, landscaped areas, hardscaped areas (excluding parking areas and public/private driveways), gardens, sitting areas, game courts, swimming pools, spas, sauna

baths, tennis courts, basketball courts, tot lots and playgrounds, bocce ball courts, outdoor cooking areas, lawn bowling, and other similar recreational facilities.

- ❖ “Continuum of Care.” Any facility, place, or building that is maintained and operated to provide for a range of senior residential care, including independent living, assisted living, congregate care, and convalescent/skilled nursing care.
- ❖ “Home School.” A school in which a resident teaches school subjects to children within their home.
- ❖ “Live/Work.” A live/work unit is defined as a single residential unit (e.g., studio, loft, or one bedroom) consisting of both a commercial/office and a residential component that is occupied by the same resident. The live/work unit shall be the primary dwelling of the occupant.
- ❖ “Mixed Use.” A mixed use development is a development with planned integration of two or more primary uses in a single development project. Uses may be a combination of retail, office, residential, hotel, or other permitted uses. Uses may be arranged in separate structures throughout a development site (horizontal mixed use) or within a single structure (vertical mixed use).
- ❖ “Multi-Generational Housing.” A residential housing type in which a single residential structure is designed to accommodate more than one generation of a family. This can include a detached casita, or a separately accessed living area within a single home.

4.2.6 Boundaries

The boundaries and acreage of the individual planning areas are approximate. Precise boundaries and acreages will be established in conjunction with the subdivision map for each village or portions thereof within the project. Minor boundary and acreage variations shall be permitted, subject to review by the Development Services Director or their designee for conformance with the intent of the Specific Plan, without an amendment to this Specific Plan. Chapter 5 of this Specific Plan includes a listing of minor modifications and criteria for required amendments to the Specific Plan.

4.2.7 Location and Adjustment of Land Use Designations

The locations of the land use designations shown on the land use plan are approximate and generally follow streets, property lines, natural features and elevation contours. Adjustments to any of the land use designation boundaries are subject to review and

approval by the Development Services Director, or their designee and any such requests for adjustment must be made in conjunction with the submittal of a land use application.

Zoning for properties that are adjacent to a street extend to the centerline of the abutting street. Minor changes in boundary alignment and location are permissible with approval by the Development Services Director or their designee. However, the intended character and overall location of the land use designations must be maintained. For example, adjusting a boundary to conform to a precise street alignment instead of a conceptual location would be a logical interpretation of this plan's intent.

4.2.8 Off-Street Parking and Loading

Except as specified in this Specific Plan document, parking within the La Entrada Plan shall be per Chapter 17.54 of the City of Coachella Zoning Ordinance. Residential driveway designs shall conform to City standards.

4.2.9 Senior/Age Qualified Communities

Senior and age-qualified projects (including "continuum of care" communities that include a full range of independent living through skilled nursing) are specifically allowed in any of the villages within the La Entrada Specific Plan. Such projects may include additional or different park facilities from that shown in the Specific Plan in keeping with the project's demographics; such changes shall be delineated in a site plan submittal concurrent with a subdivision map for the development.

4.2.10 Gated Communities

Gated communities are permitted within La Entrada subject to site plan/architectural review of the location, design, and rationale for such gating. Details of gate design must be included in the site plan submittal for any project which includes a gate, and must include adequate stacking distance to avoid backups onto surrounding collectors, adequate turn-around provisions, and adequate emergency access provisions.

4.2.11 Design Guidelines

Residential, commercial, and institutional development shall be designed and built in substantial conformance with the Design Guidelines contained in this document. More detailed privately managed Level Two Design Guidelines may be prepared by the Master Developer to provide specific details regarding site plan design, architecture, and landscaping to guide individual builder submittals, subject to review and administration by the Master Developer. If prepared, these builder-level guidelines would be consistent with the guidelines herein, but would be administered privately.

4.3 GENERAL SITE DEVELOPMENT CRITERIA

The following general site development criteria shall apply to all land development within the La Entrada specific plan.

4.3.1 Gross Acreage

Except as otherwise indicated, planning area acreages and densities are based upon gross acreages, which include the area for internal local streets and open spaces.

4.3.2 Grading

Development within the project site shall utilize grading techniques as approved by the City of Coachella, based upon the County of Riverside grading standards, included in the appendix of this specific plan. All grading activity pursuant to this section shall be subject to a grading permit issued by the City of Coachella.

4.3.3 Subsequent Building Modification

Subsequent building modification by homeowners and/or builders, including additions and/or projections into setback areas permitted by the Specific Plan (subject to approval of standard City permits), shall match the architectural style of the primary unit and shall be constructed of the same materials and colors as the primary unit and/or in context with the overall Design Guidelines.

4.3.4 Utilities

All new public utility distribution lines of less than 69kv shall be placed underground throughout the Specific Plan area. Water, reclaimed water, sewer, and storm drain utilities may be designated as “public utilities” if located within public streets. Public utilities within private streets shall be designed to City/agency standards and contained within applicable easements.

4.3.5 Development Intensity

The La Entrada Plan allocates a total number of dwelling units to each village and by residential category as indicated in Tables 2-1 through 2-4, included in Section 2, *Plan Elements*. Variations in the number and type of dwelling units within each residential planning area may occur at the time of final design depending upon the residential project identified for development (i.e., multiple product types and densities may occur within a single planning area, with overall density averaged over the entire planning area. Increases in allocation of residential units up to a maximum of 15% are permitted among

the residential planning areas within the specific plan provided the total number of units established in this specific plan is not exceeded. The maximum number of residential dwelling units permitted within the Specific Plan shall be 7,800 dwelling units. A development tracking mechanism will be developed as part of the implementation section of this specific plan (Section 5, *Implementation and Administration*).

Provisions for transfer of residential units between planning areas and villages are outlined in Section 5, *Implementation and Administration*, of this Specific Plan.

The mix and ultimate intensity of the commercial components within the Mixed Use planning areas of the specific plan are governed by the permitted uses and floor area ratios outlined in these Development Regulations.

4.3.6 Mixed Use

Mixed use projects are specifically allowed in Planning Areas of this Specific Plan where designated for Mixed Use. Mixed use projects may be horizontal or vertical mixed use. Vertical mixed use projects may consist of office or residential over retail/commercial/hospitality uses.

4.3.7 Live/Work

“Live/Work” is a mixed-use building type that is designed to accommodate non-residential work areas in addition to, or combined with, living quarters. The residential and commercial spaces are clearly identified and separated and all uses are in compliance with applicable government codes. Live/Work units, although suitable for home occupation uses, have specialized workspaces that can accommodate more intensive work activities than would be appropriate for an exclusive residential building. Live/Work opportunities shall be limited to Medium and High Density Residential planning areas, in addition to the Mixed Use areas of the Specific Plan and may develop in one of two scenarios: 1) live/work may be included in a vertical mixed-use setting with residential units located over retail/commercial/office; or 2) live/work may also occur in multi-family live/work buildings such as townhomes and lofts, and would be a stand-alone multi-family workspace. A maximum of 2 employees are assumed for a live/work product. Refer to Section 4.4 of this chapter for performance standards related to Live/Work uses.

4.3.8 RV Parking

The Master Developer of the La Entrada community may provide for RV parking (which may include boats, RVs, trailers for private use) through a variety of mechanisms, including:

- ❖ On an individual lot of a minimum of 7,200 square feet, by maintaining a minimum 12 feet unobstructed side yard setback area on select lots within the Low or Very Low Density Residential areas. The RV parking area must be gated, and the vehicle must be parked behind the front setback.
- ❖ Within an individual village with separate designated parking spaces for RVs in common areas, or as a conditional use associated with mini-storage within mixed use areas of the Gateway Village. Six foot high perimeter walls shall be required and will be screened with landscaping.

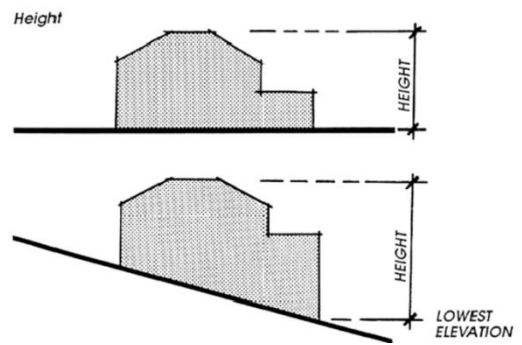
4.3.9 Projections into Required Yards

The following encroachments into required yards shall be permitted in residential districts:

- ❖ Outside stairways, porches, or landing places, if unroofed and unenclosed, may extend into a required side yard for a distance of not to exceed three feet or into the required rear yard a distance not to exceed five feet.
- ❖ Cornices, canopies, eaves, fireplaces, bay windows, or other similar architectural features not providing additional floor space within the building may project two (2) feet into the required setback.
- ❖ One pergola or one covered but unenclosed landing may extend into either side yard, provided that its other horizontal dimension shall not exceed twenty (20) feet.
- ❖ Attached patio covers and trellises or combination thereof may extend into half of the required rear yard setback and not less than ten (10) feet from the rear property line or rear wall or fence in lots less than seven thousand two hundred (7,200) square feet.

4.3.10 Height

- a. Building height shall be measured from the adjacent finished grade to the roof ridgeline for residential structures and the roof parapet for commercial structures. Rooflines must be appropriate to the architectural style.
- b. For homes built on sloping topography, building height shall be measured from finished grade on the downslope side of the building.



- c. Architectural features such as, but not limited to, weather vanes, chimneys, etc. as are appropriate to the architectural style of the home may extend in height above the stated Building Height of the Primary Structure, subject to architectural review.

4.3.11 Lot Width

Lot width shall be measured at the front yard setback for main residences.

4.3.12 Interim Uses

The following interim uses may be permitted in any planning area ultimately planned for development uses prior to its entitlement for its primary permitted use. Interim uses are not permitted in areas proposed as open space.

- a. The growing of field crops, trees, vegetables, fruits, berries and nursery stock, including wholesaling of crops produced upon the premises subject to approval of a conditional use permit.
- b. Stockpiling of soil for use in subsequent phases as part of a grading permit approval.
- c. Festivals or fairs subject to approval of a special use permit.
- d. Construction staging, including materials storage lots for construction projects, temporary parking, and construction trailers, subject to administrative approval of a Construction Management Plan.
- e. Farmers Markets subject to approval of a Special Event Permit.
- f. Christmas tree lots, pumpkin patches and similar seasonal uses subject to the provisions of Section 17.48.120 of the Zoning Code.
- g. Temporary parking lots pursuant to Section 17.48.100 of the Zoning Code.
- h. Project information Centers/Sales Centers/Model Complex, subject to administrative review of a building permit and agreement letter.

4.4 RESIDENTIAL DISTRICT DEVELOPMENT STANDARDS

The development standards and product types included herein are intended to establish the minimum design parameters. An appropriate mix of building types shall be incorporated into planning areas to avoid a monotonous neighborhood. The City may allow different standards and product types proposed by a developer/builder during site development and architectural review of a Specific Development Plan and/or Tentative

Map, provided that such alternative standards and product types are consistent with the intent of the La Entrada Specific Plan.

There are five classifications of residential development in the project area:

- ❖ Very Low Density Residential (VLDR): The density range is from 0.5 to 2.9 du/ac.
- ❖ Low Density Residential (LDR): The density range is from 3.0 to 5.9 du/ac.
- ❖ Medium Density Residential (MDR): The density range is from 6.0 to 12.9 du/ac.
- ❖ High Density Residential (VHDR): The density range is from 13.0 to 25.0 du/ac.
- ❖ Mixed Use Residential (MU) Residential: The density range is from 13.0 to 25.0 du/ac.

Proposed product types are described below, although at the time of site plan/architectural review additional housing types may be proposed.

Duplex lots are two (2) single-family attached homes with primary entries and walks facing the street or community paseos. Private outdoor living space can occur in front, rear and/or side yards. Automobile access is via street or alley. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways, on local streets or in designated parking areas. This product type functions typically more like a single-family unit.

Row townhomes are single-family attached homes with primary entries facing street or common open space. The units have private outdoor living space. Automobile access is via an alley or private street. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas.

Motor court cluster units are single-family detached dwellings clustered around a motor court. Primary entries and walks face either the motor court or the street. Private outdoor living space can occur in side and rear yards. Automobile access is via private motor courts or street. Resident parking spaces are provided in garages and guest parking spaces provided on private lanes, public or private local streets or designated on-site parking spaces.

Attached motor court cluster are attached multi-family homes with living spaces oriented toward the street community paseos. Homes enter from motor court or paseo. The units have private outdoor living space. Automobile access is via street or motor court. Resident parking spaces are provided in garages, and guest parking spaces are provided on local streets or in designated parking areas.

Multi-Family flat are attached multi-family homes with entries from common open space. Automobile access is via an alley or private drive. Resident parking spaces are provided in garages or designated on-site parking spaces, and guest parking spaces are provided on local streets or in designated parking areas

The product type allocation within the different planning areas is established in the following table.

Table 4-1 Product Type Allocation					
Product Type	Density Range				
	Very Low 0.5-2.9 du/ac	Low 3.0-5.9 du/ac	Medium 6.0-12.9 du/ac	High 13.0-25.0 du/ac	Mixed Use Area 13.0-25.0 du/ac
Single Family Detached	X	X	X		
Single Family Alley-loaded		X	X	X	
Single Family Small Lot			X	X	
Detached Motor Court Cluster			X	X	
Duplex			X	X	X
Townhome			X	X	X
Attach Motor Court Cluster				X	X
Multi-Family Flat				X	X

4.4.1 Very Low Density Residential (VLDR)

Description

The VLD residential use will include single-family detached products that are typically set back from the street and have private rear and side yards.

Applies to Village Planning Areas: H-15, H-18

Permitted Uses¹

- Single-family detached residences.

¹ Accessory Use (A): incidental to the primary permitted use.

- b. Private garages, guest houses, and accessory structures customarily appurtenant to the permitted uses; swimming pools used solely by persons resident of a site and their guests.
- c. Accessory structures, nonhabitable, including private garages or carports, garden greenhouses, recreation rooms, pool bathhouses, or private stables and swimming pools. (A)
- d. Private greenhouses, flower and vegetable gardens.
- e. Public or private parks and playgrounds or community/recreation centers.
- f. The keeping of household pets so long as the number thereof does not exceed four dogs or cats, or a combination thereof, over four months of age, and other household pets that shall not be a public nuisance due to odors, noise or public health considerations.
- g. Parking facilities. (A)
- h. Home occupations, subject to the provisions of Section 17.58.010 of the zoning code. (A)
- i. Pens and other shelter for domestic, noncommercial animals and pets. Such shelter shall not be nearer than thirty-five (35) feet from any building used for human habitation. (A)
- j. Signs subject to the provisions of the sign regulations contained within Section 17.56.010 of the zoning code. (A)
- k. Licensed day care centers for five or less children.
- l. RV parking in accordance with Section 4.4.2 herein.
- m. Antennas subject to the requirements of Chapter 17.68 of the zoning code.
- n. Temporary facilities, including materials storage lots for construction projects, temporary parking, and construction trailers.
- o. Temporary subdivision sales offices.
- p. Secondary Unit or Multi-generation Housing in accordance with applicable State laws.
- q. Keeping of horses with the following specifications: (A)
 - i. Minimum Lot Area. Twenty thousand (20,000) square feet.
 - ii. Minimum Lot Area Per Horse. Five thousand (10,000) square feet.

- iii. No stable, shelter or corral/exercise ring shall be located within thirty-five (35) feet of any dwelling or other building used for human habitation.
- iv. Horses are kept or maintained for the private use of the family residing on the premises, except that a maximum of two horses owned by residents in the neighborhood may be boarded.
- r. Open Space or Conservation.

Uses Subject to a Conditional Use Permit

- a. Schools, private.
- b. Private lighted tennis courts and such other similar uses not to include swimming pools and spas.
- c. Public safety facilities.
- d. Public utilities.
- e. Individual wind turbines.
- f. Senior facilities, including assisted living, skilled nursing, congregate care, and "Continuum of Care" uses.

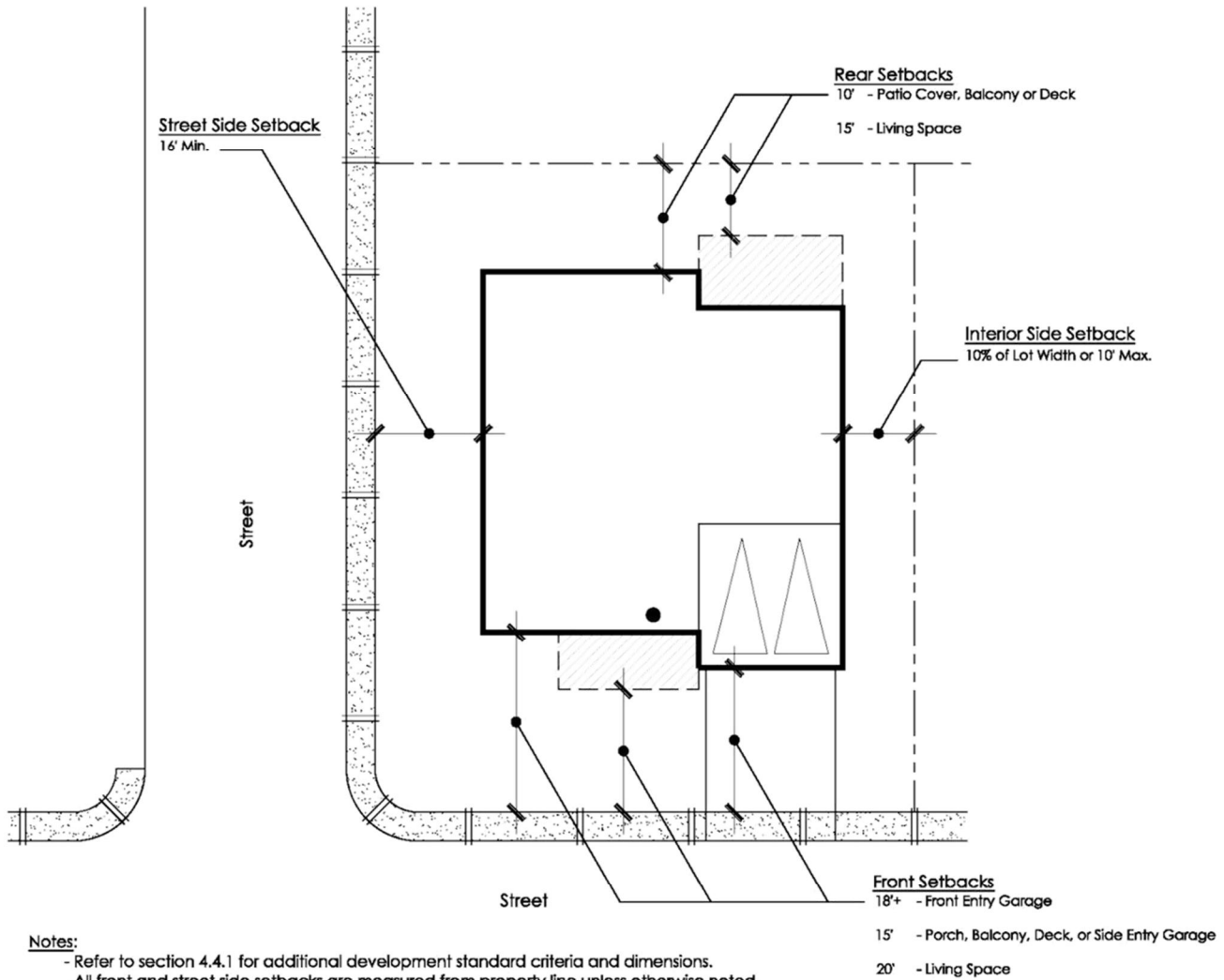
Prohibited Uses

- a. Mobile homes.

Development Standards

VLDR Residential Uses	
Residential Development Standards	Very Low
Maximum Density	0.5-2.9 du/ac
Minimum Lot Area	10,000 sq.ft.
Maximum Building Coverage	60%
Minimum Lot Width	80'
Minimum Lot Depth	100'
Maximum Building Height (primary structure) ²	35'
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Building Setbacks:	
Front Yard	
Living Space	20'
Front Entry Garage	18'+
Side Entry Garage	15'
Patio Cover, Balcony or Deck	15'
Side Yard	
Interior	10% of lot width 10' min.
Street	10'
Rear yard	
Living Space	15'
Porch, Balcony or Deck	10'
Building Separation (side to side)	16'

² The height for very low density residential (primary structure) may not exceed the maximum height of 35 feet. The footprint of the second floor shall not exceed 60% of the first floor. The footprint of the third floor shall be smaller than the second floor of the primary structure, if three stories are applicable. Third floor occupied space is not permitted. Third floor architecture features or projections shall be allowed.



Notes:

- Refer to section 4.4.1 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only.
- Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

VLDR Setback Diagram – Single Family Detached

4.4.2 Low Density Residential (LDR)

Description

The LDR Residential use will include single-family detached products that are typically set back from the street.

Applies to Village Planning Areas: G20, C16, C15, C28, C27, H14, H23, H28, H31

Permitted Uses³

- a. Single-family residences.
- b. Public or private parks, playgrounds, court games, community centers.
- c. Private garages and accessory structures customarily appurtenant to the permitted uses; swimming pools used solely by persons resident of a site and their guests.
- d. Temporary subdivision sales offices.
- e. Private greenhouses, flower and vegetable gardens.
- f. Home schools (A).
- g. Open space and conservation areas.
- h. Parking lots in conjunction with a permitted or conditionally permitted use (A).
- i. Signs subject to the provisions of Section 17.58.010 of the Zoning Code.
- j. RV parking in accordance with Section 4.3 herein.
- k. Home occupations, subject to the provisions of Section 17.58.010 of the zoning code.
- l. Signs subject to the provisions of the sign regulations contained within Section 17.56.010 of the zoning code.
- m. The keeping of household pets so long as the number thereof does not exceed four dogs or cats, or a combination thereof, over four months of age, and other household pets that shall not be a public nuisance due to odors, noise or public health considerations.
- n. Licensed day care centers for five or less children.
- o. Secondary Housing Unit or Multi-generational Housing in accordance with State laws.

³ Accessory Use (A): incidental to the primary permitted use.

- p. Antennas subject to the requirements of Chapter 17.68 of the zoning code.

Uses Subject to a Conditional Use Permit

- a. Private and quasi-public uses of an educational or religious type, including public and parochial elementary schools, junior high schools, high schools and colleges, nursery schools, licensed day care facilities for more than five children, churches, parsonages and other religious institutions.
- b. Licensed family day care for more than six children in addition to the residing family.
- c. Public safety facilities, including fire and police stations.
- d. Public utility distribution substations and public service facilities.
- e. Wireless Communications Facilities subject to as provided in the Coachella Zoning Ordinance and in compliance with Section 17.86 of the Zoning Ordinance.
- g. Senior facilities, including assisted living, skilled nursing, congregate care, and "Continuum of Care" uses.
- h. Individual wind turbines.

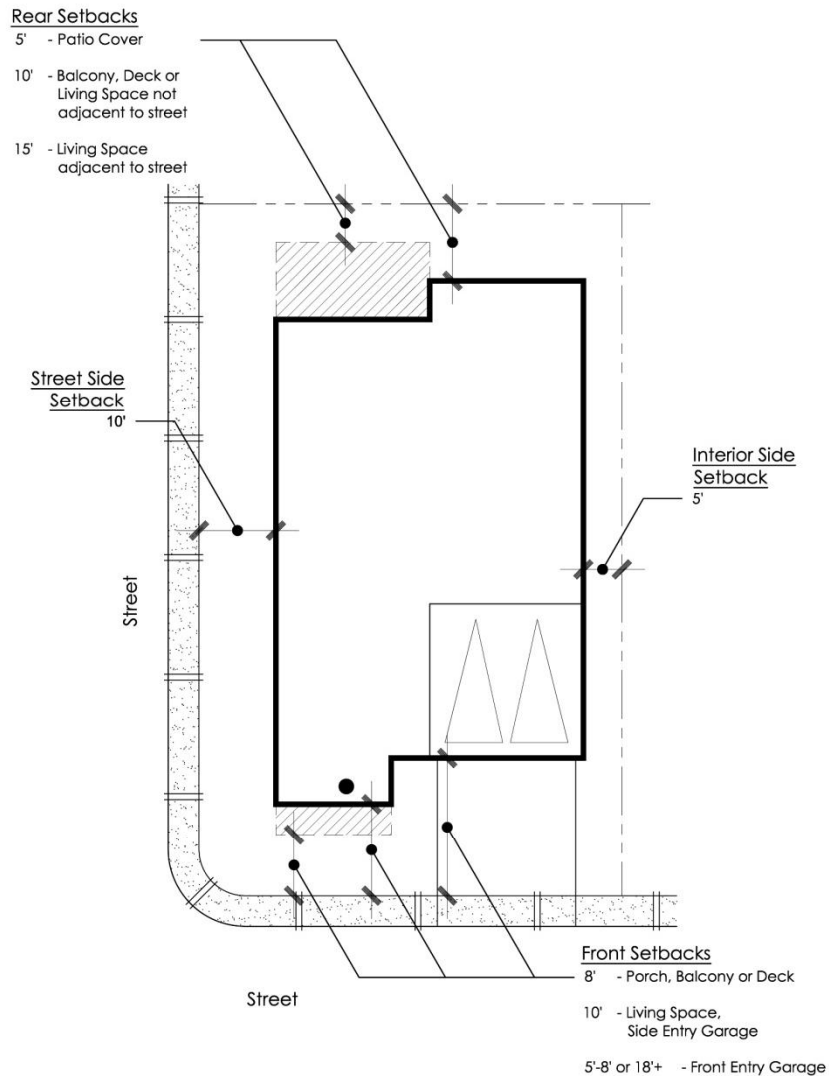
Prohibited Uses

- a. Mobile homes

Development Standards

LDR Residential Uses	
Residential Development Standards	Low
Maximum Density	3.0-5.9 du/ac
Minimum Lot Area	5,500 sq. ft.
Maximum Building Coverage	65%
Minimum Lot Width	60'
Minimum Lot Depth	90'
Maximum Building Height (primary structure)	30'
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Building Setbacks:	
Front Yard	
Living Space	10'/20'*
Front Entry Garage	5'-8' or 18'+
Side Entry Garage	10'
Porch, Balcony or Deck	8'
Side Yard:	
Interior	5'/10'*
Street	10'/20'*
Rear Yard:	
Living Space Adjacent to Street	15'/25'*
Living Space not Adjacent to Street	10'/20' ⁴
Patio Cover, Balcony or Deck	5'
Garage	5'-8' or 18'+
Building Separation:	
Side to Side	10'/20'*
Garage to Garage (alley-loaded)	30'

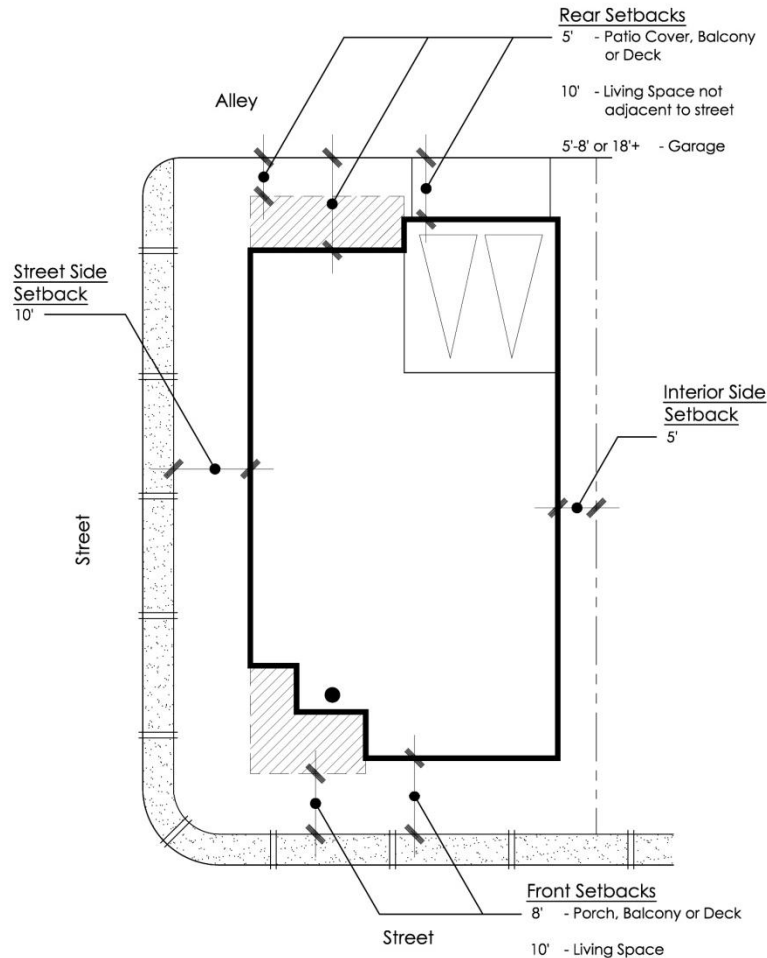
* This development standard only applies to the product types within planning areas H14 and H23 in the Hillside Village.



Notes:

- Refer to section 4.4.2 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only.
- Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

LDR Setback Diagram – Single Family Detached



Notes:

- Refer to section 4.4.2 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only.
Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

LDR Setback Diagram – Alley-Loaded Detached

4.4.3 Medium Density (MDR)

The Medium Density Detached Residential areas allow varied lot sizes to accommodate a variety of product types, including both detached and attached residences.

Applies to Village Planning Areas: G12, G13, G19, C2, C3, C5, C13, C20, C21, C24, C25, H4, H5, H9, H10, H12, H20, H25, H27 and the Medium Density Residential Overlay Area (Planning Area H2)

Permitted Uses (Detached and Attached)⁵

- a. Detached and attached single family and multi-family residences including:
 - 1) Single Family Small Lot
 - 2) Single Family Rear-loaded Lot
 - 3) Detached motor Court Cluster units
 - 4) Duplexes
 - 5) Townhomes
 - 6) Multi-generational Housing
- b. Public or private parks, playgrounds, court games, community centers, recreation centers including pools/spas, tennis courts, court games.
- c. Accessory structures, nonhabitable, including private garages, carports, garden greenhouses, recreation rooms or pool bathhouses and swimming pools (A).
- d. Permitted Signs. Only the following signs shall be permitted:
 - 1) One unlighted identification sign of a maximum of twenty (20) square feet in area, placed on the wall of the building, containing only the name and address of the building.
 - 2) One unlighted sign pertaining to the rental, sale, or lease of the premises, not to exceed ten (10) square feet in area.
- e. Temporary subdivision sales offices (A).
- f. Home schools (A).
- g. Open space and conservation areas.
- h. Parking areas in conjunction with a permitted or conditionally permitted use (A).

⁵ Accessory Use (A): incidental to the primary permitted use.

- i. Home occupations, subject to the provisions of Section 17.58.010 of the zoning code (A).
- j. The keeping of household pets so long as the number thereof does not exceed four dogs or cats, or a combination thereof, over four months of age, and other household pets that shall not be a public nuisance due to odors, noise or public health considerations.
- k. Senior facilities, including assisted living, skilled nursing, congregate care, and "Continuum of Care" uses.
- l. Antennas subject to the requirements of Chapter 17.68 of the zoning code.

Uses Subject to a Conditional Use Permit

- a. Private and quasi-public uses of an educational or religious type, including public and parochial elementary schools, junior high schools, high schools and colleges, nursery schools, licensed day care facilities for more than five children, churches, parsonages and other religious institutions.
- b. Licensed day care centers.
- c. Public safety facilities, including fire and police stations.
- d. Public utility distribution substations and public service facilities.
- e. Wireless Communications Facilities subject to as provided in the Coachella Zoning Ordinance and in compliance with Section 17.86 of the Zoning Ordinance.
- f. Live/Work subject to the performance standards in Section 4.6 herein.
- g. Individual wind turbines.

Prohibited Uses

- b. Mobile homes

Medium Density Detached

Description

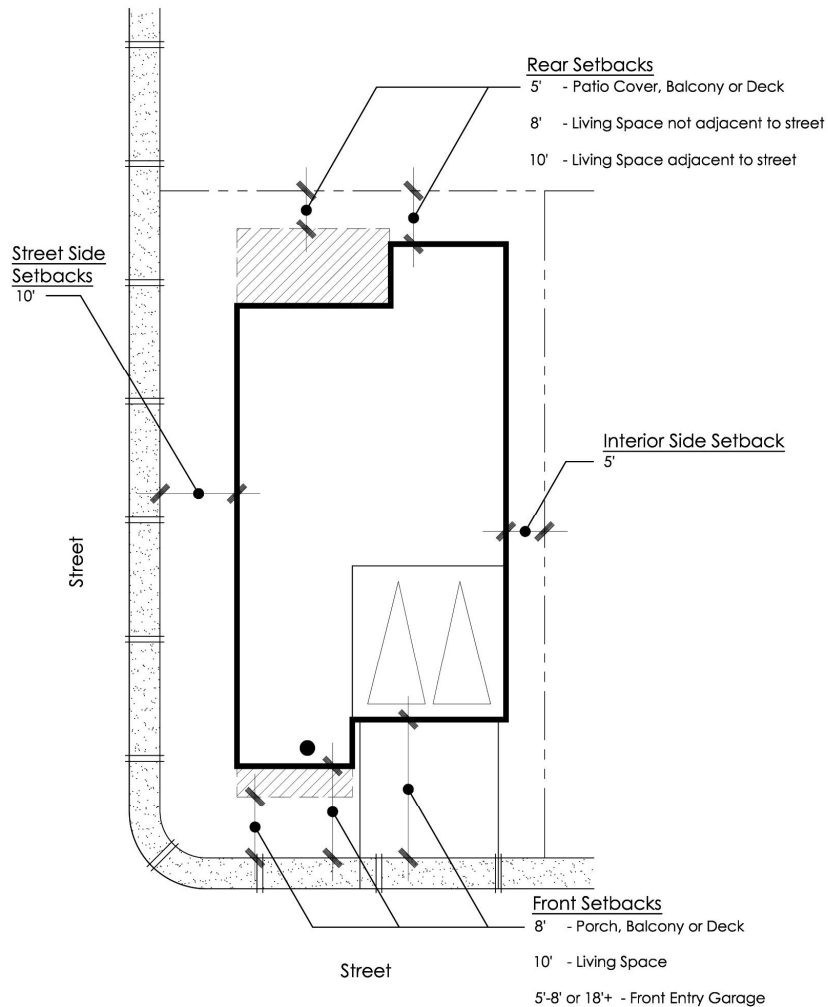
The Medium Density Detached Residential areas allow varied lot sizes to accommodate a variety of product types.

The Medium Density Detached residential category will include single-family small lot, single-family detached alley-loaded lot and detached motor court clusters.

The following table outlines the development standards for the detached Medium Density Residential uses.

Development Standard – Medium Detached

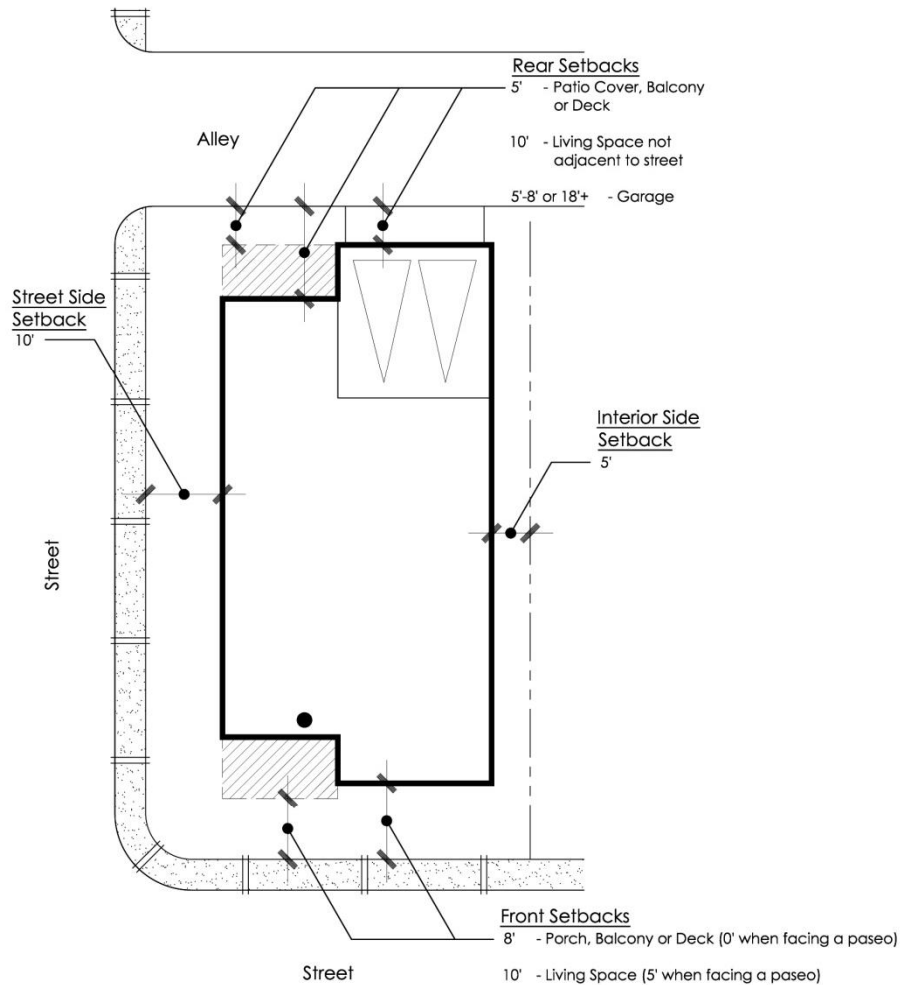
MDR Detached Residential Uses	
Residential Development Standards	Medium Detached
Maximum Density	6.0-12.9 du/ac
Minimum Lot Area	1,925 sq.ft.
Maximum Building Coverage	70%
Minimum Lot Width	35'
Minimum Lot Depth	55'
Maximum Building Height (primary structure)	36' (max. 2 stories)
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Paseo Width (if provided)	10'
Minimum Common Open Space*	100 sq. ft. per unit
Minimum Private Open Space*	80 sq. ft. per unit
Minimum Building Setbacks:	
Front Yard, Facing the Street	
Living Space	10'
Porch, Balcony or Deck	8'
Front Entry Garage	5' to 8' or 18'+
Front Yard, Facing Motor Court	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	5' to 8' or 18'+
Front Yard, Facing Paseo	
Living Space	5'
Porch, Balcony or Deck	0
Side Yard	
Interior, Alley or Motor Court	5'
Street	10'
Rear Yard	
Living Space Adjacent to Street	10'
Living Space not Adjacent to Street	8'
Patio Cover, Balcony or Deck	5'
Garage	5' to 8' or 18'+
Building Separation	
Side to Side	10'
Garage to Garage (alley-loaded)	30'
Living Space Front to Front	20'
*Standards apply only to detached motor court cluster product types. Common open space may include paseos, recreation centers, landscaped areas available to all residents of the specific development.	



Notes:

- Refer to section 4.4.3 for additional development standard criteria and dimensions.
- All front and corner side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only.
Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

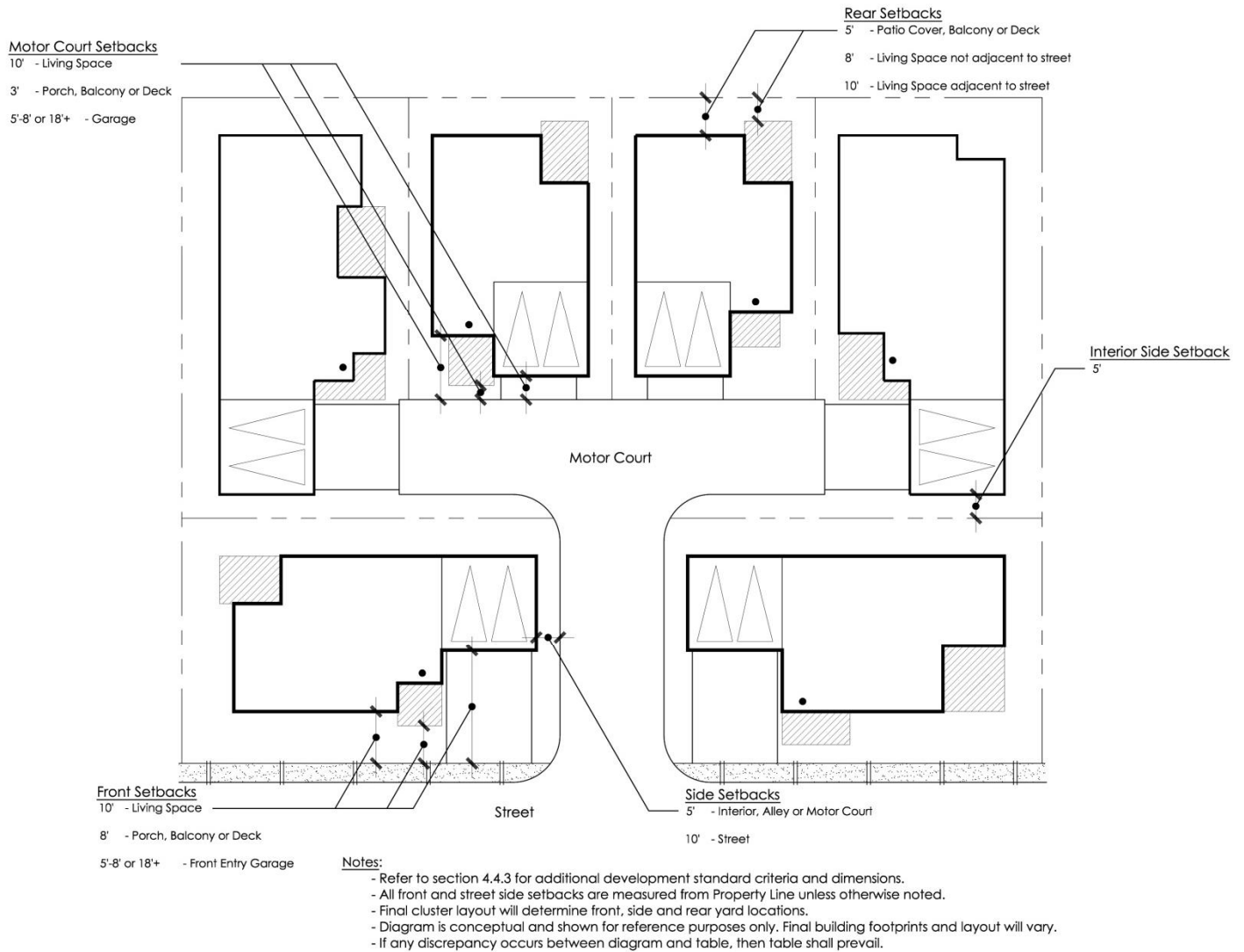
MDR Detached Setback Diagram – Single Family



Notes:

- Refer to section 4.4.3 for additional development standard criteria and dimensions.
- All front and corner side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only.
 Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

MDR Detached Setback Diagram – Alley-Loaded



MDR Detached Setback Diagram – Motor Court

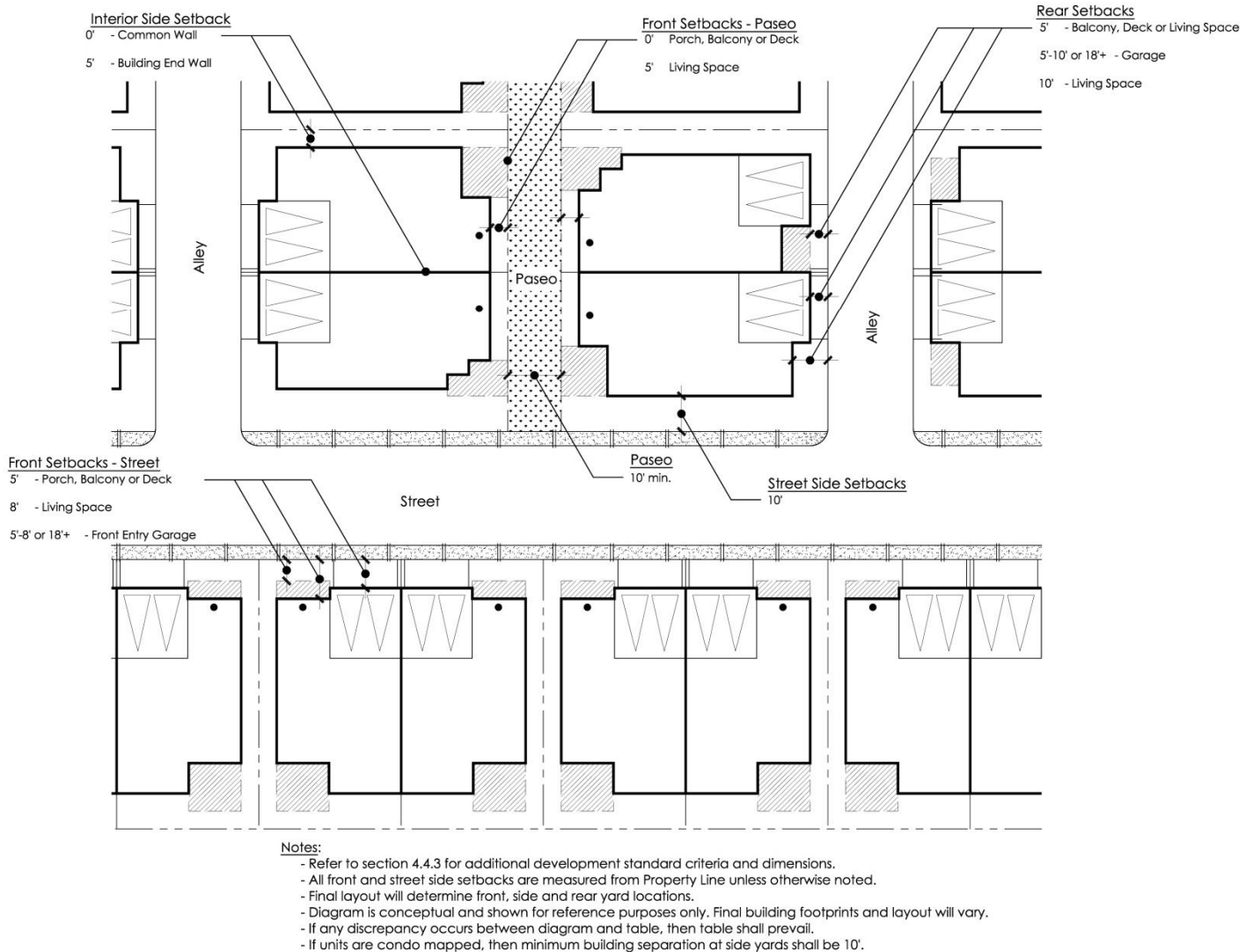
Medium Density Attached

Description

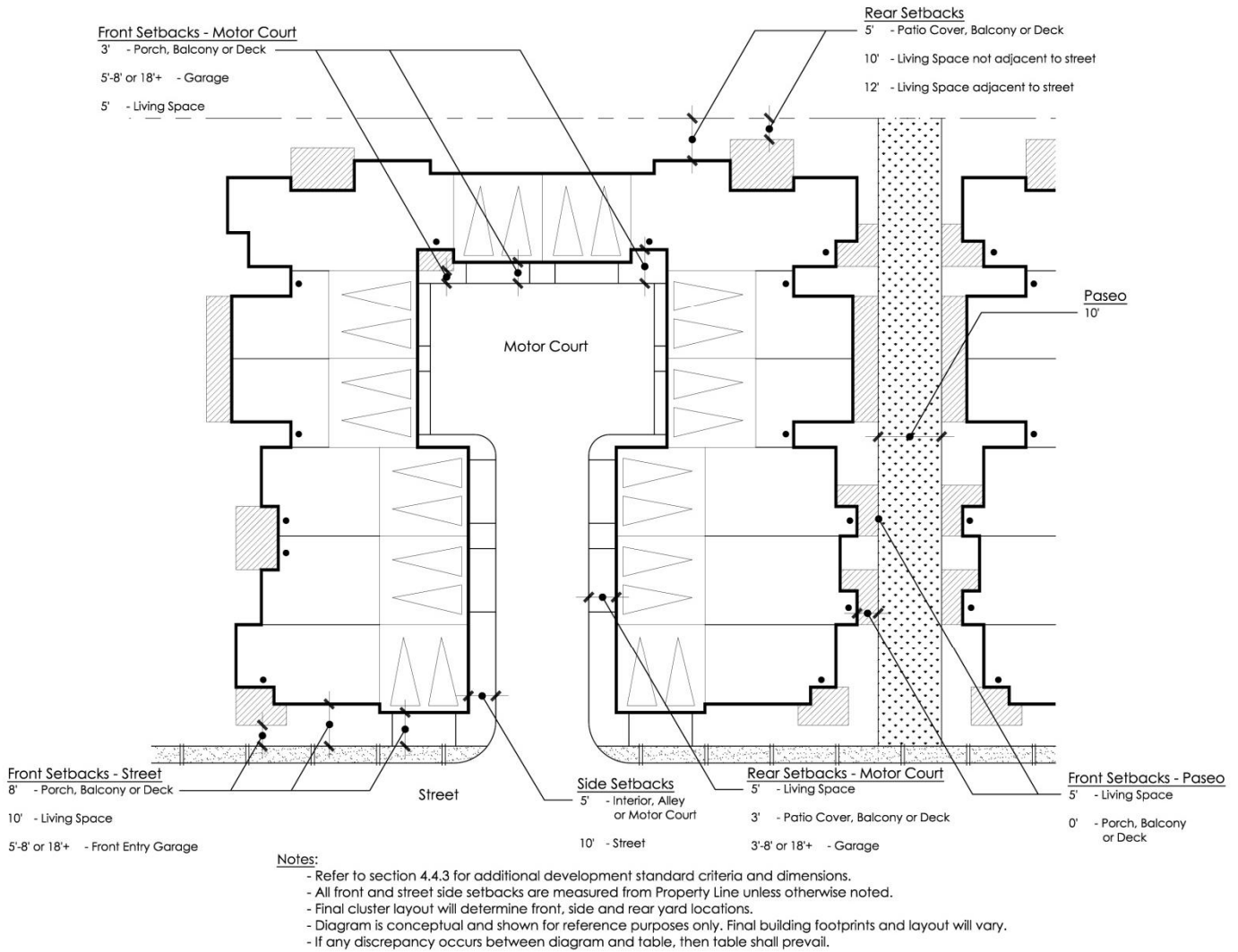
The Medium Density Attached Residential areas allow varied lot sizes to accommodate a variety of product types. This residential category will include duplexes and townhomes.

Development Standard – Medium Attached

MDR Attached Residential Uses	
Residential Development Standards	Medium Attached
Maximum Density	6.0-12.9 du/ac
Maximum Building Coverage	70%
Maximum Building Height (primary structure)	36' (max. 2 stories)
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Common Open Space*	100 sq. ft. per unit
Minimum Private Open Space	80 sq. ft. per unit
Minimum Building Setbacks:	
Front Yard, Facing the Street	
Living Space	8'
Porch, Balcony or Deck	5'
Front Entry Garage	5' to 8' or 18'+
Front Yard, Facing Motor Court	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	5' to 8' or 18'+
Front Yard, Facing Paseo	
Living Space	5'
Porch, Balcony or Deck	0'
Side Yard	
Interior, Alley or Motor Court	5'
Street	10'
Rear Yard	
Living Space Adjacent to Street	12'
Living Space not Adjacent to Street	10' (5' on Motor Court)
Patio Cover, Balcony or Deck	5' (3' on Motor Court)
Garage	3' to 8' or 18'+
Building Separation	
Side to Side	10'
Garage to Garage (alley-loaded)	30'
Living Space Front to Front	20'
*Common open space may include paseos, recreation centers, landscaped areas available to all residents of the specific development.	



MDR Attached Setback Diagram



MDR Attached Setback Diagram – Motor Court

4.4.4 High Density Residential (HDR)

The High Density Residential areas allow varied lot sizes to accommodate a variety of product types including both detached and attached products.

- ❖ Detached. The Detached HDR Residential category will include single-family small lot, single-family detached alley-loaded lot and detached motor court cluster.
- ❖ Attached. The Attached HDR Residential category will include duplex, townhome, attached motor court cluster and multi-family flat.

Applies to Village Planning Areas: G-5, G8, G15, G17, C12, H6

Permitted Uses (Detached and Attached)⁶

- a. Detached and attached single family and multi-family residences including:
 - 1) Single Family Small Lot
 - 2) Single Family Alley-loaded Lot
 - 3) Detached Motor Court Cluster units
 - 4) Duplexes
 - 5) Townhomes
 - 6) Attached Motor Court Cluster
 - 7) Multi-Family Flat
- b. Senior housing projects. Senior facilities, including assisted living, skilled nursing, congregate care, and "Continuum of Care" uses.
- c. Public or private parks, playgrounds, court games, community centers, recreation centers including pools/spas, tennis courts, court games.
- d. Accessory structures, nonhabitable, including private garages, carports, garden greenhouses, recreation rooms or pool bathhouses and swimming pools (A).
- e. Permitted Signs. Only the following signs shall be permitted:
 - 1) One unlighted identification sign of a maximum of twenty (20) square feet in area, placed on the wall of the building, containing only the name and address of the building.

⁶ Accessory Use (A): incidental to the primary permitted use.

- 2) One unlighted sign pertaining to the rental, sale, or lease of the premises, not to exceed ten (10) square feet in area.
- f. Temporary subdivision sales offices (A).
- g. Home schools (A).
- h. Open space and conservation areas.
- i. Parking areas in conjunction with a permitted or conditionally permitted use (A).
- j. Home occupations, subject to the provisions of Section 17.58.010 of the zoning code (A).
- k. The keeping of household pets so long as the number thereof does not exceed four dogs or cats, or a combination thereof, over four months of age, and other household pets that shall not be a public nuisance due to odors, noise or public health considerations.
- l. Antennas subject to the requirements of Chapter 17.68 of the zoning code.

Uses Subject to a Conditional Use Permit

- a. Private and quasi-public uses of an educational or religious type, including public and parochial elementary schools, junior high schools, high schools and colleges, nursery schools, licensed day care facilities for more than five children, churches, parsonages and other religious institutions.
- b. Licensed day care centers.
- c. Public safety facilities, including fire and police stations.
- d. Public utility distribution substations and public service facilities.
- e. Wireless Communications Facilities subject to as provided in the Coachella Zoning Ordinance and in compliance with Section 17.86 of the Zoning Ordinance.
- i. Live/Work subject to the performance standards in Section 4.6 herein.
- j. Individual wind turbines.

Prohibited Uses

- a. Mobile homes

High Density Detached

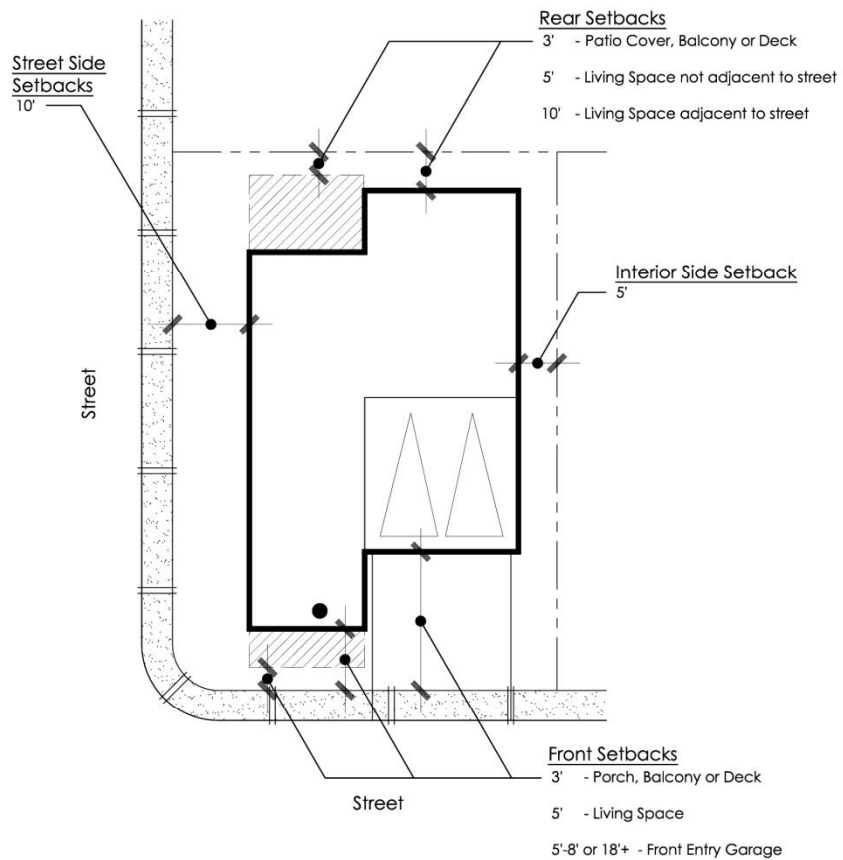
Description

The High Density Detached Residential areas allow varied lot sizes to accommodate a variety of product types.

Residential category will include single family small lot, single family detached alley-loaded lot and detached motor court cluster.

Development Standard – High Detached

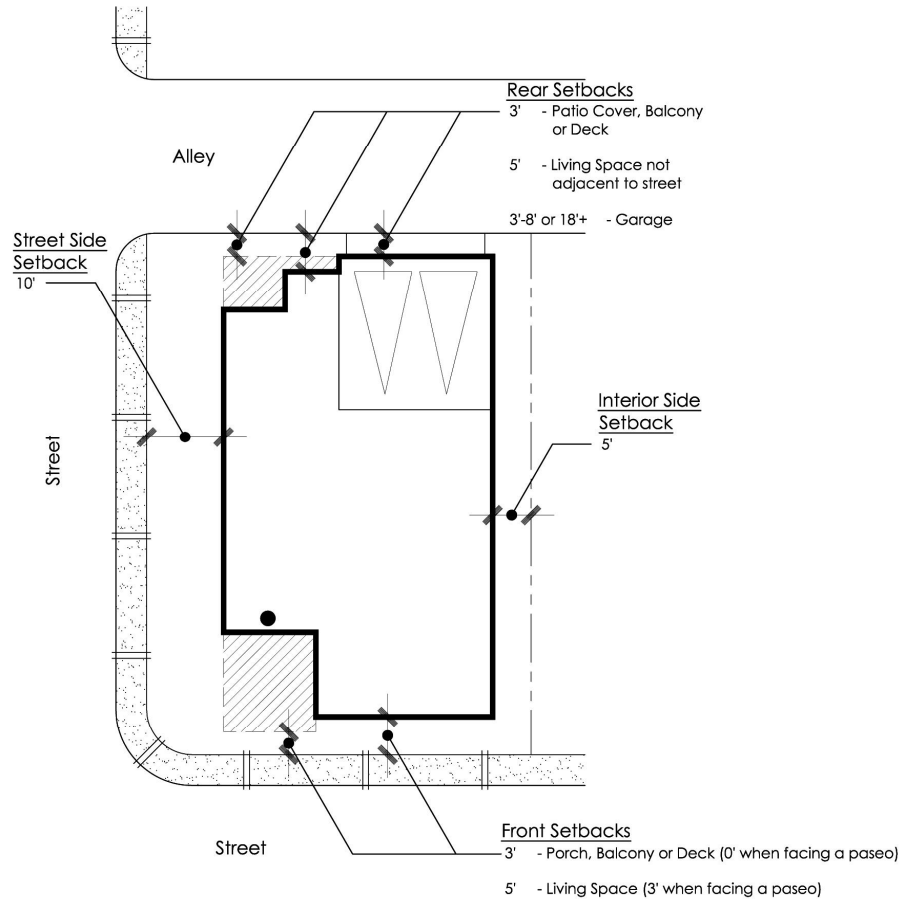
HDR Detached Residential Uses	
Residential Development Standards	HDR Detached
Maximum Density	13.0-25.0 du/ac
Minimum Lot Area	1,750 sq. ft.
Maximum Building Coverage	70%
Minimum Lot Width	35'
Minimum Lot Depth	50'
Maximum Building Height (primary structure)	45' (max. 3 stories)
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Paseo Width	15'
Minimum Common Open Space*	100 sq.ft. per unit
Minimum Private Open Space*	80 sq.ft. per unit
Minimum Building Setbacks:	
Front Yard, Facing the Street	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	5' to 8' or 18'+
Front Yard Facing Motor Court	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	3' to 8' or 18'+
Front Yard Facing Paseo	
Living Space	3'
Porch, Balcony or Deck	0
Side Yard	
Interior or Alley	5'
Street	10'
Rear Yard	
Living Space Adjacent to Street	10'
Living Space not Adjacent to Street	5'
Patio Cover, Balcony or Deck	3'
Garage	3' to 8' or 18'+
Building Separation	
Side to Side	10'
Garage to Garage (alley-loaded)	30'
Living Space Front to Front	25'
*The standards only apply to detached motor court cluster product types.	



Notes:

- Refer to section 4.4.4 for additional development standard criteria and dimensions.
- All front and corner side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

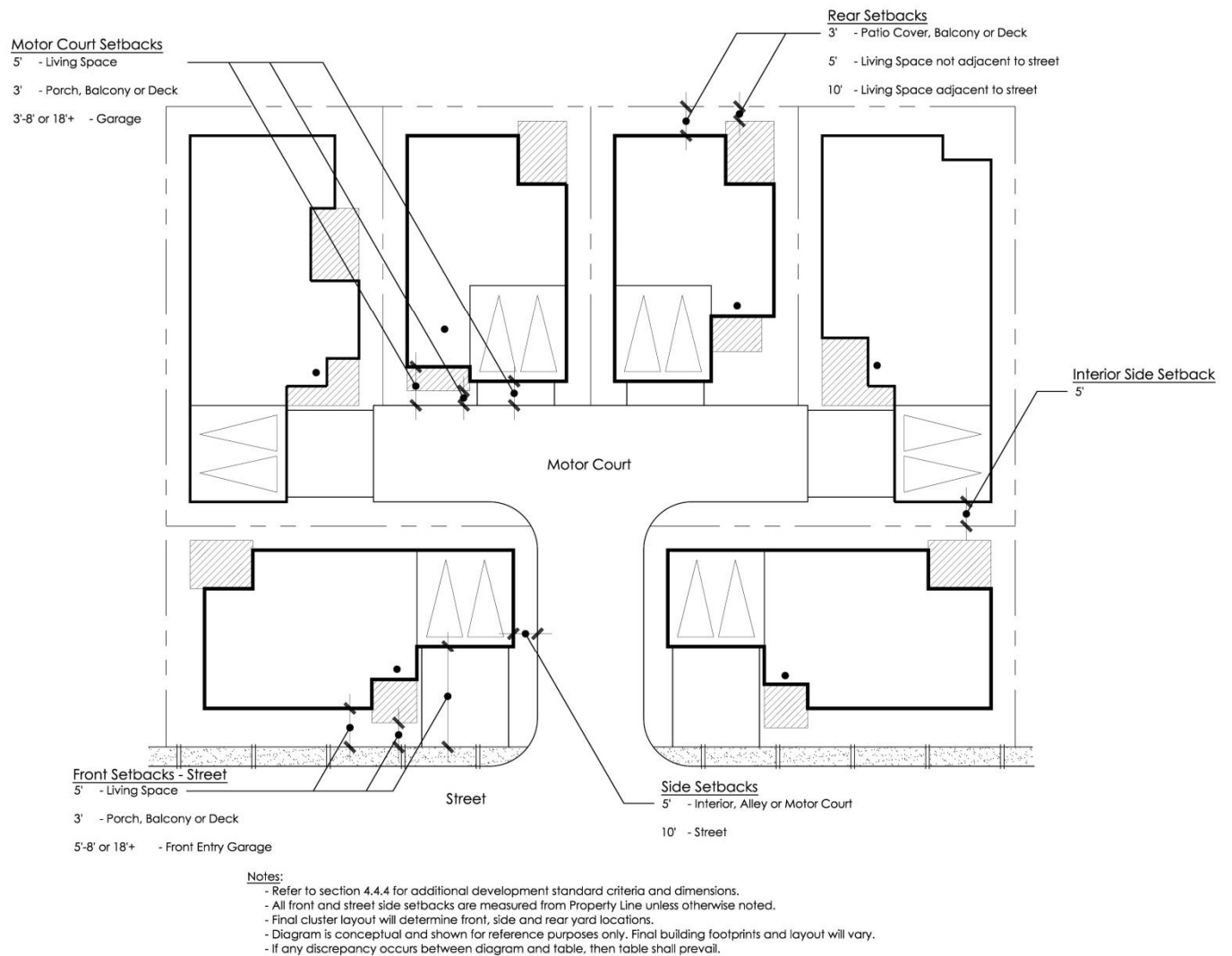
HDR Detached Setback Diagram – Single Family



Notes:

- Refer to section 4.4.4 for additional development standard criteria and dimensions.
- All front and corner side setbacks are measured from property line unless otherwise noted.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

HDR Detached Setback Diagram – Alley-Loaded



HDR Detached Setback Diagram – Motor Court

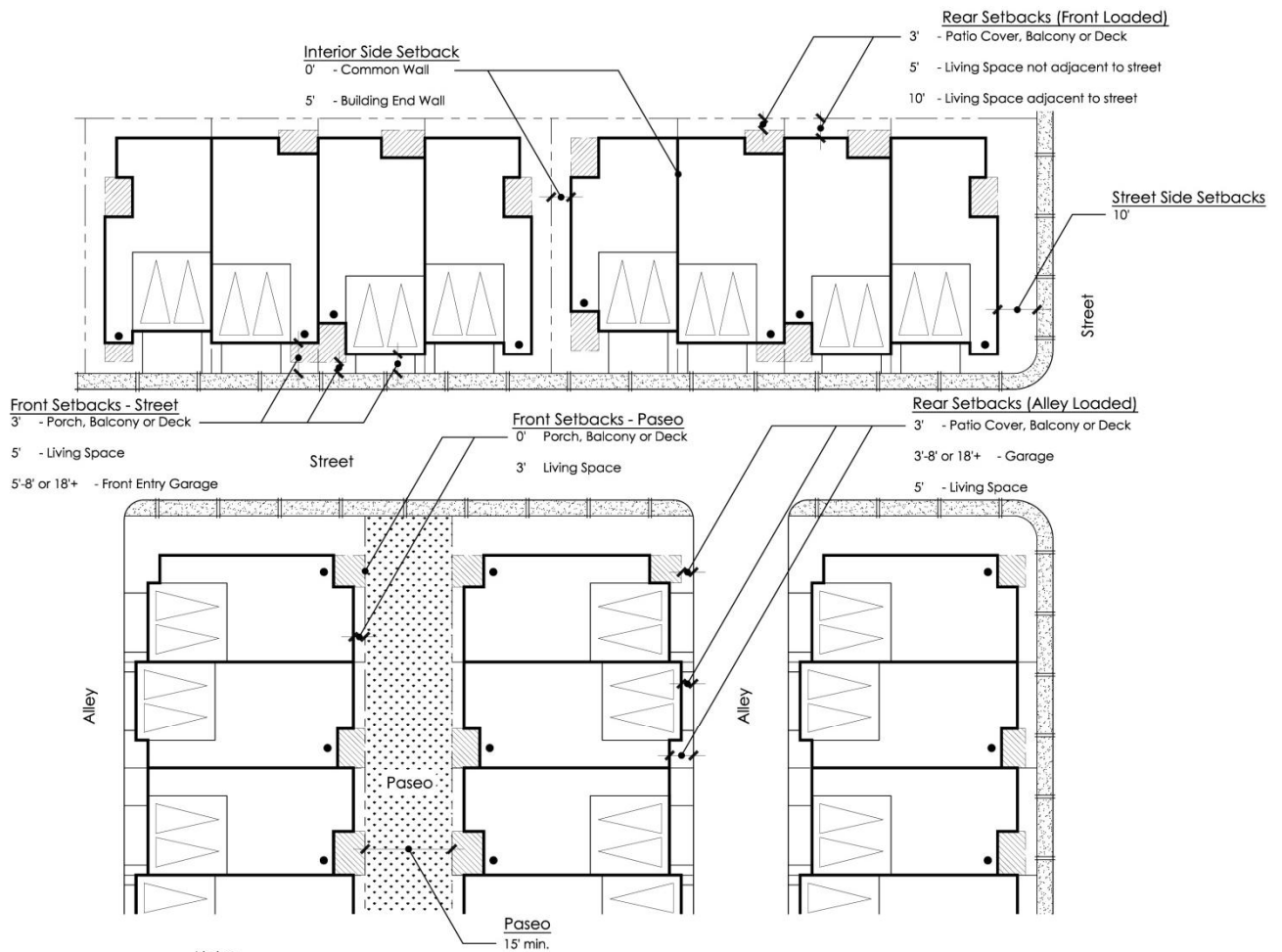
High Density Attached

Description

The High Density Attached Residential areas allow varied lot sizes to accommodate a variety of product types. Residential category will include duplex, townhome, attached motor court cluster and multi-family flat.

Development Standard – High Attached

HDR Attached Residential Uses	
Residential Development Standards	HDR Attached
Maximum Density	13.0-25.0 du/ac
Maximum Building Coverage	75%
Maximum Building Height (primary structure)	45' (max. 3 stories)
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Paseo Width	15'
Minimum Common Open Space**	100/150 * sq. ft. per unit
Minimum Private Open Space	80/ 48* sq. ft. per unit
Minimum Building Setbacks:	
Front Yard, Facing the Street	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	5' to 8' or 18'+
Front Yard Facing Motor Court	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	3' to 8' or 18'+
Front Yard Facing Paseo	
Living Space	3'
Porch, Balcony or Deck	0'
Side Yard	
Interior, Alley or Motor Court	5'
Street	10'
Rear Yard	
Living Space Adjacent to Street	10'
Living Space not Adjacent to Street	5'
Patio Cover, Balcony or Deck	3'
Garage	3' to 8' or 18'+
Building Separation	
Side to Side	10'
Garage to Garage (alley-loaded)	30'
Living Space Front to Front	25'
*150 square feet of common outdoor open space and 48 square feet of private outdoor open space shall be provided for multi-family flat product types.	
**Common open space may include paseos, recreation centers, landscaped areas available to all residents of the specific development.	

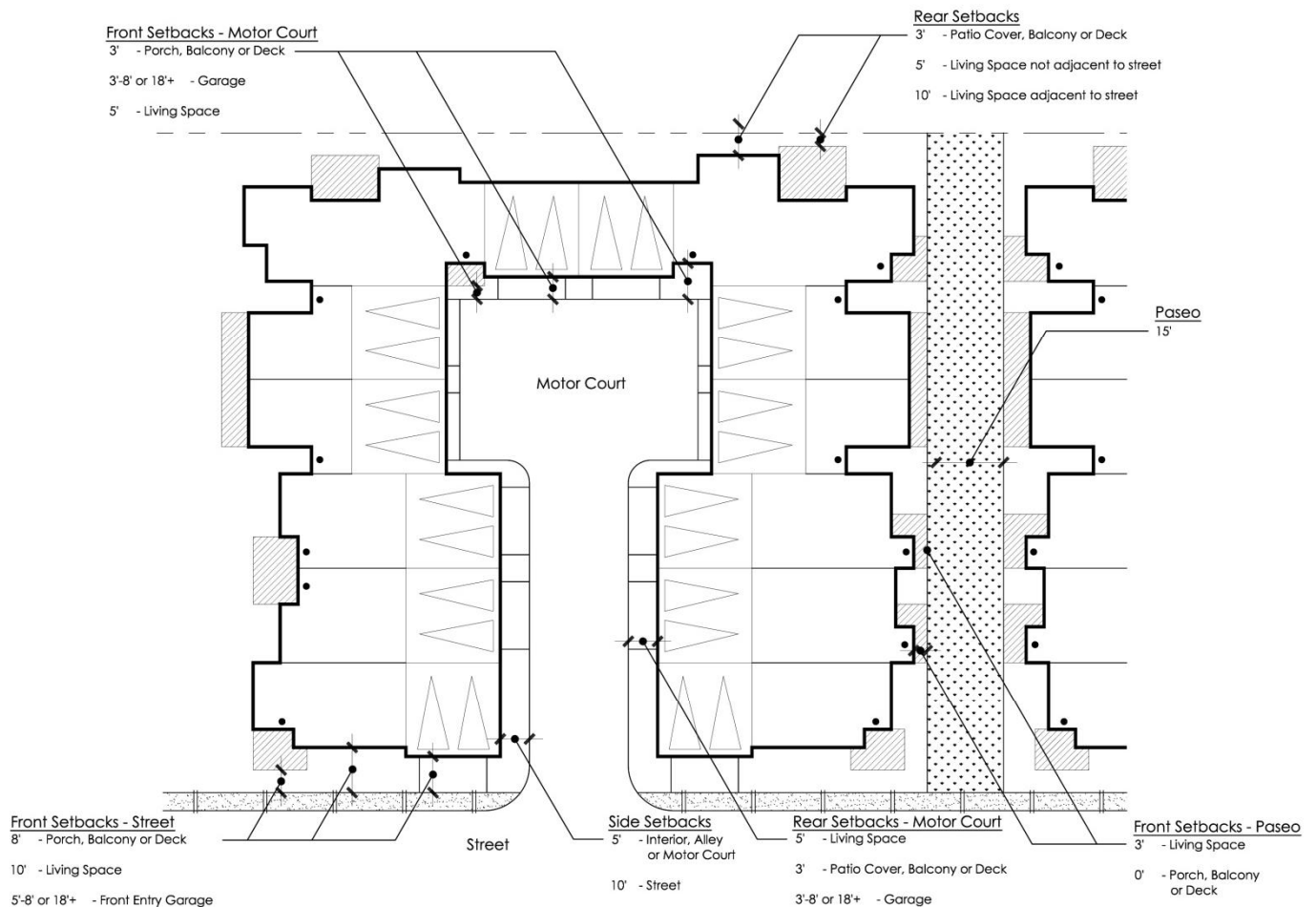


Notes:

- Refer to section 4.4.4 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from Property Line unless otherwise noted.
- Final layout will determine front, side and rear yard locations.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.
- If units are condo mapped, then minimum building separation at side yards shall be 10'.

HDR Attached Setback Diagram

4 Development Regulations



Notes:

- Refer to section 4.4.4 for additional development standard criteria and dimensions.
- All front and street side setbacks are measured from Property Line unless otherwise noted.
- Final cluster layout will determine front, side and rear yard locations.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

HDR Attached Setback Diagram – Motor Court

4.5 COMMUNITY CORE DISTRICT DEVELOPMENT STANDARDS

The Mixed Use designation provides for a variety of land uses such as commercial, entertainment, civic, office as well as high density residential uses through the site. These uses can be distributed vertically and horizontally.

By allowing a mixture of uses, a high level of activity and diversity can be generated. Integrating housing with retail, work places, civic facilities, and recreational uses creates exciting opportunities, allowing nearby residents convenient access to shopping, civic, educational and recreational facilities. In addition, by allowing uses to concentrate in the Mixed Use Community Cores, infrastructure and parking can be more efficiently provided and shared.

The mix of uses may be horizontal (side-by-side) or vertical (on top of each other), with commercial or office uses located on the ground floor and with office or residential uses located above.

The residential portion of this land use designation is intended to provide for the development of multi-family residential dwellings in an urban atmosphere.

4.5.1 Mixed Use (MU) Residential

Description

Mixed Use Residential may include duplex, townhome, attached motor court cluster and multi-family flat product types with the density range and allowable uses allowed in the High Density Residential category.

Applies to Village Planning Areas: G6, G7, G9, G10, G11, C10, C11

Development Standard – Mixed Use Residential

Mixed Use Residential Uses	
Residential Development Standards	Mixed Use Residential
Maximum Density	13.0-25.0 du/ac
Maximum Building Coverage	75%
Maximum Building Height (primary structure)	45' (max 3 stories)
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	6'
Minimum Paseo Width	15'
Minimum Private Outdoor Space	80/ 48* sq.ft. per unit
Minimum Building Setbacks:	
Front Yard, Facing the Street	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	5' to 8' or 18'+
Front Yard Facing Motor Court	
Living Space	5'
Porch, Balcony or Deck	3'
Front Entry Garage	3' to 8' or 18'+
Front Yard Facing Paseo	
Living Space	5'
Porch, Balcony or Deck	0'
Side Yard	
Interior, Alley or Motor Court	5'
Street	10'
Rear Yard	
Living Space Adjacent to Street	10'
Living Space not Adjacent to Street	5'
Patio Cover, Balcony or Deck	3'
Garage	3' to 8' or 18'+
Building Separation	15'
Side to Side	10'
Garage to Garage (alley-loaded)	30'
Living Space Front to Front	25'
*48 square feet of private outdoor open space shall be provided for multi-family flat product types.	

Note: The setback diagrams for Mixed Use Residential please refer to Section 4.4.4 High Density Residential (HDR) – High Density Attached.

4.5.2 Mixed Use (MU) Non-Residential

Description

The mixed uses commercial areas occur under community core areas. It may provide town center, community commercial, neighborhood commercial and local neighborhood commercial land uses.

The Town Center land use provides for commercial, civic, office and residential uses. This land use will accommodate a vertically and horizontally integrated mix of uses in which residential and commercial uses may occur within the same structure.

The Community Commercial land use provides for Big-box commercial/retail hub.

The Neighborhood Commercial (NC) land use provides locations for businesses that meet the day-to-day shopping and service needs of the residential use. NC uses are typically anchored by a grocery store but may also provide an array of retail and service commercial uses, such as pharmacies, cleaners, etc.

Local Neighborhood Commercial uses are small scale services located within a residential neighborhood.

Applies to Village Planning Areas: G6, G7, G9, G10, G11, C10, C11, H7

Permitted Uses

Administrative Uses

- a. Executive Offices.
- b. Business Offices.
- c. Clerical Services.
- d. Telecommute Centers.

Retail Commercial

- a. Apparel and Accessory Stores.
- b. Art Galleries.
- c. Building materials and garden supplies (such as hardware stores, nurseries and garden stores, paint, glass, tile and wallpaper stores, plumbing, heating and electrical supply stores, etc).
- d. Catering.

- e. Eating Places, including restaurants, convenience foods and specialty foods.
- f. Food and Beverage Stores, including Bakeries, candy, nut and confectionery stores, Convenience Markets, Dairy products stores, meat, fish and produce markets.
- g. Furniture and home furnishing stores.
- h. General Merchandise and specialty items such as Antique or Curio Shops, Art Galleries, Beauty Supply Stores, Books and Magazines Stores (includes newsstands), Camera and Photographic Supply Stores, computers, and Drug Stores.
- i. Combination of residential and commercial or office uses in the same structure.

Residential Uses

- a. Uses in the High Density Residential category per Section 4.4 of this Specific Plan.
- b. Live/Work subject to the performance standards in Section 4.6 herein.

Service Uses

- a. Business services such things as Accounting and Bookkeeping, Advertising and Public Relations Agencies, Commercial Photography, Art and Graphic Design, Credit Reporting and Collection Services, and Custodial Services.
- b. Financial Services, including banks, savings and loans, credit union, escrow services, investment services, mortgage bankers and brokers.
- c. Pet stores and veterinary clinics.
- d. Health services, including health care offices and clinics, laboratories (medical and dental), medical supplies, optometrists, physical therapy, specialty out patient clinics, medical offices, urgent care.
- e. Insurance Agents and brokers, real estate agents and brokers, title services.
- f. Legal Services.
- g. Personal Services such as Barber/Beauty shop, Carpet and Upholstery Cleaning, Currency Exchange (check cashing), Laundry and Dry Cleaning Services, Linen Supply, Locksmith, Pet Grooming, Photographic, Studios, Picture Framing, Shoe Repair and Shoeshine Parlors, Tailors/Dress Makers, Ticket Agencies, and Travel Agencies.

- h. Commercial Recreation including amusement devices (3 or less games of skill or science), sports facilities.
- i. Lodging, including hotel/motel, resort, including extended stay hotels.
- j. Social services, including individual and family services (counseling, family planning or other similar services).
- k. Tutorial services.
- l. Athletic and health clubs, gyms and physical training facilities, including boxing clubs.
- m. Educational Services, including public and private preschools, elementary schools, secondary schools, colleges and universities and learning centers, vocational schools, and other accredited learning facilities.
- n. Schools for personal enrichment, including art, music, martial arts, and dance schools and studios.
- o. Parking lots and park-and-ride areas.
- p. Parks, community centers, plazas, civic uses, open space.
- q. Public Safety Facilities such as fire stations, police stations and similar facilities.
- r. Signs in accordance with Section 17.56 of the zoning code.
- s. Other Uses deemed compatible by the Development Services Director.
- t. Day Care (small family) in residential areas only.
- u. Day Care Centers including employer-provided on site.
- v. Senior facilities, including assisted living, skilled nursing, congregate care, and "Continuum of Care" uses.
- w. Antennas subject to the requirements of Chapter 17.68 of the zoning code.

Uses Subject to a Conditional Use Permit

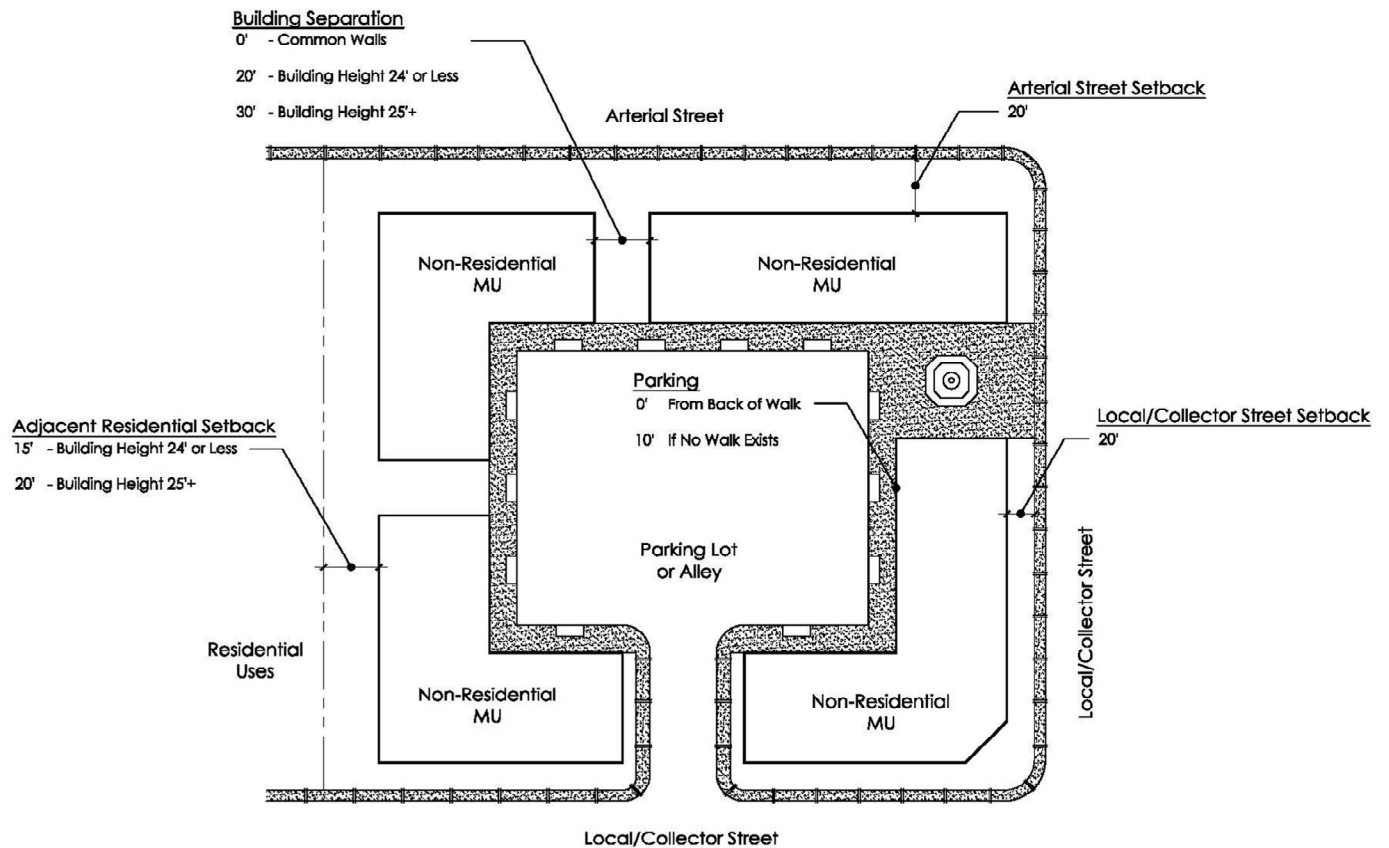
- a. Those uses conditionally permitted in the High Density Residential uses per Sections 4.4.4 of this Specific Plan.
- b. Laundromat (coin-operated).
- c. Museums.
- d. Nightclubs, bars, and cocktail lounges.
- e. Alcoholic beverage sales for on-premises consumption.
- f. Alcoholic beverage sales for off-premises consumption.

- g. Live entertainment, including large-scale festivals.
- h. Utility Stations and Equipment Buildings.
- i. Community-scale worship facilities.
- j. Thrift stores.
- k. Brew-on Premises Facilities.
- l. Bowling Alleys.
- m. Drive-thru fast food restaurants, banks, pharmacies.
- n. Mini Storage (warehousing/distribution uses are not permitted uses).
- o. Hospital.
- p. Individual wind turbines.

Development Standard – Mixed Use Non-Residential

Development Standards	Non-Residential Mixed Use Area
Maximum Intensity	0.45 (Floor Area Ratio)
Maximum Building Height (primary structure)	55' (max 3 stories)
Maximum Building Height (accessory structure)	15'
Height Projections for architectural features	10'
Minimum Building Setbacks:	
From Highway	25'
From Arterial Street	20'
From Collector Street	10'
From Local Streets ⁷	10'
Adjacent Residential Areas	20'
Building Height Less Than 25'	15'
Building Height 25' or Greater	20'
From Parking:	
From Back of Walk	0'
If No Walk Exists	10'
Building Separation	15'
Building Height Less Than 25'	15'
Building Height 25' or Greater	20'

⁷ The building setbacks from local streets could be zero (0) in town center mixed use area.



Notes:

- Refer to section 4.5 for additional development standard criteria and dimensions.
- All setbacks are measured from Property Line unless otherwise noted.

Mixed Use Setback Diagram

4.6 LIVE/WORK

The “Live/Work” designation is a mixed-use building type that accommodates non-residential work areas adjacent to or below residential living areas, having specialized work spaces that can accommodate more intensive work activities than appropriate for an exclusive residential building. Live/Work is allowed and encouraged in single family attached and alley-loaded products and multi-family attached, with orientation to streets at transitional locations between pure commercial and pure residential areas. Live/Work units shall be located adjacent to a street. The Live/Work standards for the La Entrada Plan assume no more than two employees for Live/Work uses, and assume no separate rental of the live or work space to a second party. Live/Work is an appropriate transitional use between primarily commercial and primarily residential areas within the Mixed Use/Community Core District.

4.6.1 Applicability, Live/Work

The standards provided herein apply to single-family attached home type or alley-loaded single family uses within the Mixed Use District or Medium Density Residential planning areas fronting a Mixed Use planning area. The following standards are intended to supplement the standards for Medium and High Density Residential uses.

Free-standing commercial buildings are not permitted in the live/work category. Live/Work units must be owner-occupied.

4.6.2 Permitted Uses

- a. Home Occupations
- b. Artist and Craft Activities (low impact media only such as jewelry making, graphic artists, etc)
- c. Cottage Production Activities Production of goods or services involving low impacts and no employees (e.g., jewelry making, garment making, small leather goods, printing, computer or small goods repair, media production and recording studios.)
- d. Service Activities Office or service work with few or no impacts and no more than two employees, (e.g., software developers, analysts, writers, accountants, secretarial services, personal services such as hair stylists, music teachers, tutors, therapists, child daycare, contract workers, telecommuters, office bases for off-site services such as building and landscape contractors, sales representatives.)

- e. Small businesses with frequent one-on-one interaction with clients who meet in home offices. Examples include:
 - 1) Architect/Landscape Architect/Engineer/Land Planner
 - 2) Interior Decorator or Designer
 - 3) Fine Arts Studio and Sales/Ceramics and Pottery Studio and Sales/Clothing Design Studio and Sales
 - 4) Graphic Design Studio and Sales
 - 5) Photography Studio/Portraiture and Sales
 - 6) Planning Consultant
 - 7) Attorney/consultant
 - 8) Income Tax Service/Escrow Service/Insurance Agency
 - 9) Internet Service Provider/Webmaster
 - 10) Tutor
 - 11) Mobile Businesses
- f. Notwithstanding the specific permitted uses outlined above, the Development Services Director may authorize other uses using reasonable discretion, as long as such other uses are not otherwise precluded by law. The Development Services Director will consider the effect on the project, and will not approve a use that has a materially adverse impact on other units in the project, or surrounding neighborhood. The Director's decision may be appealed to the Planning Commission or the Director may refer the request to the Planning Commission as a Conditional Use Permit.

4.6.3 Prohibited Uses

Prohibited uses are those uses that are not compatible with the permitted uses for the project, as well as all uses which are contrary to any city development code or other governmental condition of approval for the project. The following uses are expressly prohibited in a live/work project due to conflicts with residential uses, traffic generation, or high parking requirements:

- a. Medical/Dental Office
- b. Chiropractic/Acupuncture Service
- c. Massage/Acupressure Service

- d. Veterinarian/Kennel/Animal Care Facility
- e. Tattoo or Body Piercing Service
- f. Banquet Facility
- g. Adult Business as defined by the Coachella Municipal Code
- h. Recycling Center or storage
- i. Sales, repair or maintenance of vehicles, including automobiles, boats, motorcycles, aircraft, trucks, or recreational vehicles, provided that light maintenance of resident owned vehicles shall be allowed so long as such maintenance is conducted entirely within the interior of a garage.
- j. Trade or Private School
- k. Religious Institution
- l. Any use that regularly or periodically generates vibrations, excessive noise, heat or smell, which affects any other condominium units within the project or surrounding properties, as determined by the City of Coachella Development Services Director.
- m. Other uses that the Development Services Director reasonably determines would detract from the overall image of the project or which might adversely affect the value of the individual uses within the project.

4.6.4 Live/Work Standards

Live/Work is the blend of residential and working components within a single dwelling. The development standards for the base residential density set forth the basic building criteria. The following standards are written to give further standards on the commercial aspects of the building, and also the interaction between living and working areas.

Orientation

Most residential units are anticipated to be located above the main floor; however, if properly designed to mitigate conflicts concerning livability and privacy, ground floor or partial ground floor units are allowed.

Entries and Private Outdoor Space

There should be direct pedestrian access from the front street to each individual business. Direct pedestrian access from the business to the residential unit is also encouraged. Residential units may be accessed from the fronting street or from the rear or side of the building.

Living Area and Work Space

Living quarters are permitted above the work area, to the side or in back of the work area. A minimum square footage of living area shall be 400 sq. ft. A minimum square footage of workspace shall be 200 sq. ft., with an 800 sq. ft. maximum.

Parking and Storage

All tenant parking is to be provided for on-site, at the rear of the units or underground if subterranean parking is provided. Live/Work units are required to provide .25 visitor spaces/unit, which may be located on-street. This requirement is in addition to the parking requirements for the residential use.

Garbage container storage areas, heating and mechanical equipment, and off street parking and loading facilities must be located at the rear of the units. When a live/work unit has an attached garage, access from the work area to the rear of the building is required through the attached garage.

Loading

Mixed-use and Live/Work settings are encouraged to employ shared loading areas and on-street parallel parking as loading spaces. On-street loading spaces shall have appropriate loading, time/day signage for the space and shall be in addition to required parking for the mixed-use building/tenant. Otherwise, no loading or unloading is permitted in the public right-of-way. No loading or unloading activities shall interfere with parking or vehicular access. Loading areas, where provided, shall not be visible from the public street.

Signage

Signage is intended to promote and enhance on-site businesses, maintain a quality neighborhood, provide direction for pedestrian and vehicular circulation, support a residential living environment and retain the character of the local neighborhood. No free-standing or monument signage is allowed for live-work uses. A signage program shall be prepared by the merchant builder and submitted for review and approval by the City of Coachella.

Business License

A business license must be obtained for all live/work activities. Licenses will define:

- a. Permitted number of employees
- b. Business hours of operation

- c. Potential public safety concerns, nuisances such as noise, vibrations etc.

Review Procedures

All applications for live/work commercial activities shall be reviewed and approved by the Master Association. Prior approval shall be received by the developer of the parcel and Homeowner Association, before submittal to the City for a conditional use permit.

4.7 SCHOOL SITE STANDARDS

4.7.1 Permitted Uses

The following uses are allowed within parcels designated as School sites:

- a. Elementary/Middle schools (public or private)
- b. School related uses such as auditoriums, cafeteria, lighted ball fields, playgrounds
- c. Parking
- d. Utilities and drainage facilities
- e. Public parks as a shared use
- f. Low Density Residential Uses (pursuant to Section 4.7.2 below)

4.7.2 Underlying Land Use

School sites will be offered to the Coachella Unified School District for elementary/K8 use for project-related school needs. At the time of project build-out, or upon written notification by the District that any school site is not needed for school uses, the use of a school site may revert to an underlying land use designation that allows Low Density Residential uses as defined in the land use section of this Specific Plan. Development Regulations for Low Density Residential uses shall apply.

Such reversion of land use shall not require an amendment to the Specific Plan provided that such reversion does not increase the total number of residential units within the Specific Plan. Should additional units above the maximum allowable residential unit count be requested, an amendment of the Specific Plan unit limitation shall be required.

4.7.3 Parking

Parking for schools shall be provided in accordance with Chapter 17.54 of the zoning code.

4.8 PARKS /RECREATION SITE STANDARDS

This zone includes the special use, community, neighborhood, and linear parks in the Specific Plan area. These parks are located throughout the project as shown on Exhibit 2-10, *Parks, Open Space, and Trails Plan*. Recreation in all parks may be active or passive in nature.

4.8.1 Permitted Uses

- a. Active and passive recreational uses as described in the Parks and Recreation Plan and Guidelines by park type, including sports fields and courts, tennis facilities, golf driving ranges, tot lots, picnic areas, pools/spas, skate board parks, ropes courses, dog parks, disc golf, etc.
- b. Lighted ball fields (shielded lights required), including soccer, baseball, softball
- c. Concessions
- d. Agricultural Uses
- e. Restrooms, shade structures, storage/maintenance sheds
- f. Community Gardens
- g. Botanic Gardens
- h. Amphitheaters
- i. Utilities
- j. Roads, Driveways, Parking
- k. Drainage features including water quality basins, bioswales, etc.
- l. Lakes or Water features for irrigation water storage purposes
- m. Antennas subject to the requirements of Chapter 17.68 of the zoning code
- n. Natural open space/mitigation areas

4.8.2 Uses Subject to a Conditional Use Permit

- a. Fairs and large-scale Festivals (Special Use Park only).
- b. Commercial Recreation facilities and structures (Special Use Park only).
- c. Private Clubhouses or recreation centers, community centers.
- d. Sporting and recreational camps.
- e. Child daycare centers.
- f. Individual wind turbines.

4.8.3 Temporary Uses

- a. Construction activities, including materials and equipment storage and construction offices.
- b. Seasonal sales such as Christmas trees, pumpkins, vegetables and related items.

4.8.4 Building Height

No building may exceed one story in height except that a split-level or multi-level design may be approved as part of architectural review.

For a commercial recreation facility (including a potential soccer stadium or other sports program) building height shall be reviewed as part of site plan and architectural review.

4.9 OPEN SPACE STANDARDS

The Open Space land use designation is intended to establish open space areas for passive recreation and to provide protection from environmental hazards.

4.9.1 Permitted Uses

- a. Conservation areas (wildlife/natural habitats, habitat enhancement areas and sanctuaries).
- b. Interpretive areas, including public information kiosks.
- c. Temporary Facilities subject to an Administrative Approval (includes facilities which do not require the construction/installation of any structures).
- d. Pedestrian or equestrian trails, staging areas, interpretive areas and associated facilities.
- e. Public infrastructure facilities including but not limited to those necessary for drainage, water quality, and flood control including the retention or detention of flood waters and other similar facilities necessary to control downstream erosion; controlling or reducing water runoff pollutants; public communications; facilities necessary to provide for public safety or health.
- f. Public parking ancillary to a permitted use.
- g. Antennas as provided in the Coachella Zoning Ordinance Section 17.68, subject to site plan review.
- h. Roads.
- i. Fuel Modification zones.

4.9.2 Uses Subject to a Conditional Use Permit

- a. Sporting and Recreational Camps.
- b. Incidental, seasonal sales stands for row, field, trees and nursery crops.
- c. Utility stations and associated equipment buildings.
- d. Wireless Communications Facilities subject to as provided in the Coachella Zoning Ordinance and in compliance with Section 17.86 of the Zoning Ordinance.
- e. Individual wind turbines.
- f. Density transfer (Planning Area H2 only) subject to the procedures outlined in Section 5.3.2 of this Specific Plan.
- g. Photovoltaic energy generation.

4.10 PARKING

4.10.1 Parking Requirements

Parking within the La Entrada Plan shall generally conform to the requirements of the Coachella Zoning Code Section 17.54 except as specified herein. Accessible parking and loading requirements shall be governed by Section 17.54. The following is a summary of the off-street parking requirements for the project:

Commercial/Office:	1 Space/250 square feet of gross floor area
Single Family Residential:	2 spaces per dwelling Unit within an enclosed garage
Attached/Multi-family:	
Studio-1 bedroom:	1 space per dwelling unit covered or within a garage 0.66 spaces per unit open parking
2 or more bedrooms:	1 space per dwelling unit, covered or within a garage 1.33 spaces per unit of open parking
Auditoriums, Churches, Theaters:	1 space per 3 seats or 1 space per 21 square feet with there are no fixed seats

4.10.2 Landscaping

Landscaping for parking lots shall be required in conformance with Section 17.54.010 J, which includes a requirement for a ten foot landscaped setback abutting a street.

4.10.3 Shared and Off-Site Parking

The planning commission may approve a conditional use permit to allow the use of shared and off-site parking requirements to reduce the total number of required on-site parking spaces and also to allow sharing of loading spaces when the following requirements have been complied with:

1. A parking study addressing the potential peak parking demand and an actual parking survey of the parking facility under consideration shall be submitted.
2. Sufficient evidence shall be presented demonstrating that no substantial conflict in the principal hours or periods of peak demand for the structures or uses for which the joint use is proposed will exist.
3. Parties concerned in the use of shared or off-site parking facilities shall provide evidence of agreements for such use by a proper legal instrument, which shall be recorded in the office of the county recorder with two copies thereof filed with the planning division as a condition of any approval.
4. In no case shall the total parking reduction be allowed to exceed fifty (50) percent of the total parking for all uses combined.
5. Any off-site parking shall be located so that it will adequately serve the use for which it is intended, with safe and convenient access without unreasonable hazard to pedestrian, vehicular traffic, or traffic congestion, and shall not be detrimental to the use of any business, property or residential neighborhood in the vicinity.

4.10.4 Parking Reductions

Pursuant to energy conservation and air quality goals promulgated by State and Federal agencies, whenever in the opinion of the Planning Commission, a commercial center, office business park use, or residential use in the Village Center is designed to encourage and facilitate the internal circulation of public transit vehicles and the on-site, convenient and safe loading and unloading of passengers, a reduction in the number of parking spaces required by the Zoning Ordinance may be permitted upon Site Approval by the Planning Commission.

The following are examples of facilities, which may justify a reduction in required off-street parking:

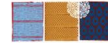
- ❖ Community tram/transit system.
- ❖ Preferential bus alleys and bus stops.
- ❖ Park and ride facilities.

- ❖ Disincentives to individual vehicle use.
- ❖ Age qualified projects.

Shared or joint use parking facilities, either on- or off-site within a Mixed Use Community Core, may be approved in conjunction with and as part of the Site Approval by the Planning Commission, as documented by a traffic engineer.

4.11 SIGNAGE

Signage within the La Entrada Plan shall conform to the requirements of the Coachella Zoning Code Section 17.56 except for those monument signs specifically identified in Section 3, *Design Guidelines*.



4 Development Regulations

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